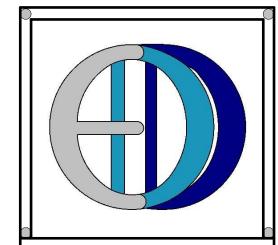
NEW HOUSE PLANS FOR MITCHAM HOLDINGS









EDUNAY DESIGN, LLC 366 PLAINVILLE RD NE ROME, GEORGIA 30161 ph_706 766-0366 beth@edunaydesign.com

V HOUSE PLANS FC
ITCHAM HOLDINGS
108 McCANLESS AVE
CARTERSVILLE, GA 30120

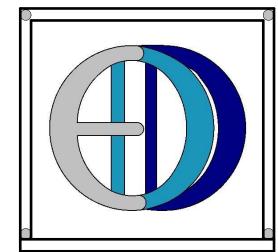
COVER SHEET

PROJECT # 2244 DATE:6/7/2023

STATUS: SD

REVISIONS 6/27/2023

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/ HOUSE PLANS FOR ITCHAM HOLDINGS
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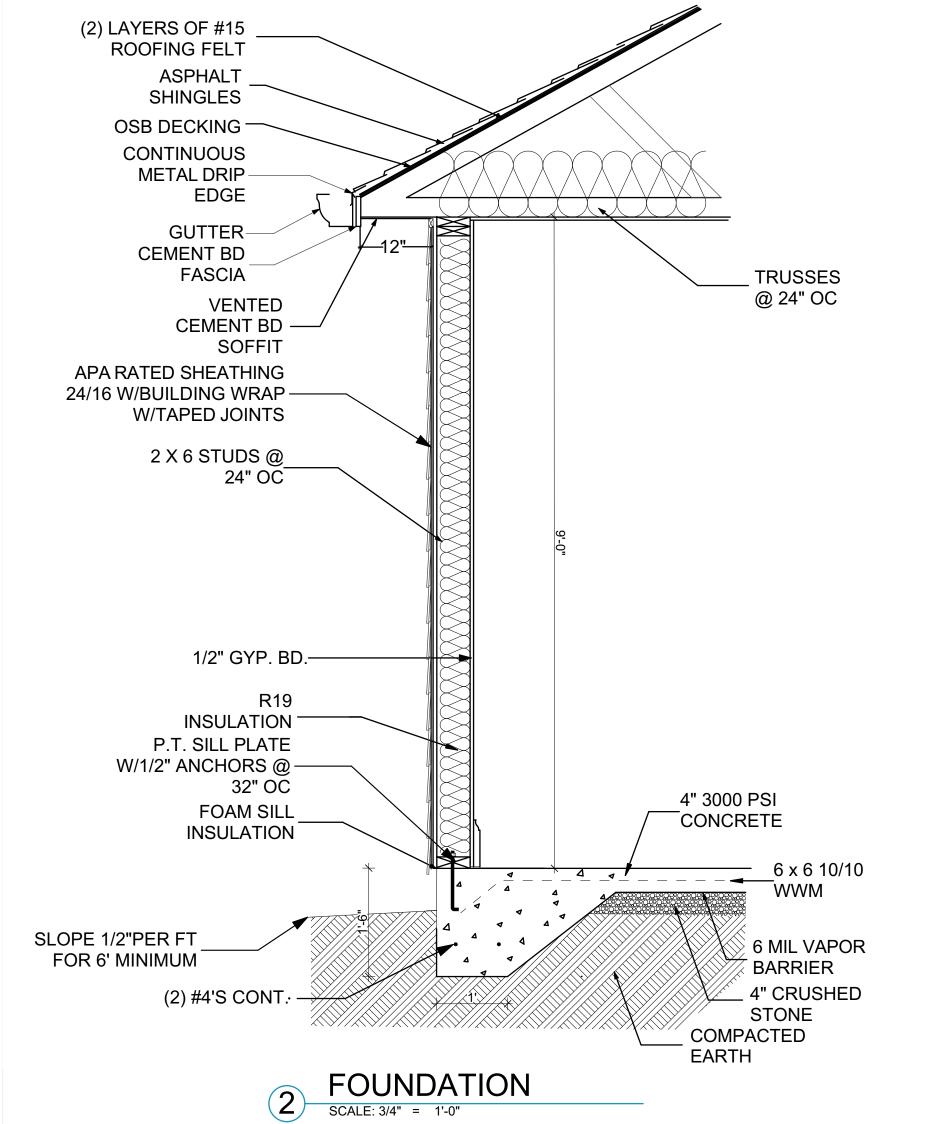
SITE LAYOUT

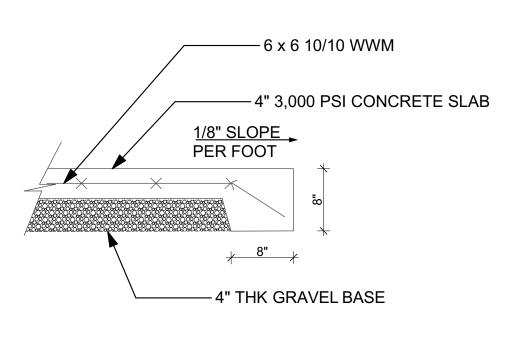
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43'-4" 24'-1 1/2" 7'-2 1/2" EJ 3,000 PSI CONCRETE SLAB W/6 x 6 x 10/10 WWR ON 6 MIL VISQUEEN (TAPE EDGES) ON 4" CRUSHED GAB L _ _ _ _ _ _ _ _ _ _ _ . CJ _12" SQ. FOOTING A2.0 8'-3 1/2" 13'-8 1/2" 12'-9 1/2" 8'-6 1/2" 43'-4"

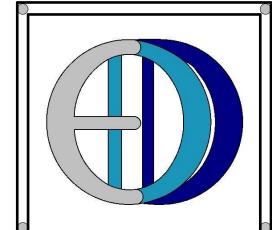
A FOUNDATION PLAN SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE, 2018 ENERGY CODES AND 2020 GA AMENDMENTS AND NFPA 101.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A DULY ISSUED CERTIFICATE OF OCCUPANCY, LIEN WAIVERS FROM ALL SUB-CONTRACTORS, OPERATING AND MAINTENANCE MANUALS FOR ALL EQUIPMENT, AS BUILT DRAWINGS OF ANY WORK WHICH IS DIFFERENT FROM THESE DRAWINGS AND KEYS TO THE PROJECT.
- 3. TRANSFORMER PAD (IF REQUIRED) SHALL BE NO LESS THAN 10'-0" FROM ANY EXTERIOR WALL, WALKWAY, BALCONY, BUILDING OVERHANGS, CANOPIES AND EXTERIOR STAIRS.
- 4. MECHANICAL AND ELECTRICAL WORK SHALL BE PREFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES AND NFPA 70.

CONCRETE & REINFORCING NOTES:

- 1. SUBGRADE SHALL BE UNIFORMLY COMPACTED AND LEVELED TO WITHIN 1/2".
- 2. CONTROL JOINTS SHALL BE 1/4 OF SLAB DEPTH.
- 3. SLABS SHALL BE ISOLATED FROM FOOTER WITH SAND OR 15# FELT.
- 3. ALL CONCRETE SHALL BE 3,000 PSI AT 28 DAYS.
- 2. SLUMP SHALL NOT BE MORE THAN 3-4". WITH A SUPERPLASTICIZER SLUMP SHALL BE NOT MORE THAN 6-8".
- 3. ALL REINFORCING SHALL BE 60 KSI & COMPLY WITH ACI-318 LATEST EDITION.
- 4. FORMS SHALL NOT BE STRIPPED FOR SEVEN DAYS FROM THE DAY OF THE POUR.
- 5. REBAR SHALL BE A MINIMUM OF 3" FROM THE GROUND IN ALL DIRECTIONS,
- 6. REBAR SHALL BE A MINIMUM OF 1.5" FROM ANY FORMWORK IN RETAINING WALLS.
- 7. ALL ASPECTS OF MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION STANDARDS.
- 8. INSTALL EXPANSION JOINTS WHERE INTERIOR & EXTERIOR SLABS ABUT MASONRY.
- 9. INSTALL AN IMPERVIOUS MEMBRANE BETWEEN ALL CONCRETE PATIOS AND PORCHES AND WOOD FRAMING.
- 10. ALL EXTERIOR CONCRETE SLABS SHALL BE BROOM FINISHED.
- 11. ALL FOOTINGS SHALL BE BELOW THE FROST LINE AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
- 12. TIE BARS MUST BE USED TO TIE BEARING WALLS TOGETHER EVERY SIX COURSES.
- 13. 1/2" DIA. ANCHOR BOLTS ARE TO BE PLACED EVERY 4' OC.
- 14. SOIL BEARING PRESSURE ASSUMED TO BE 2,500 PSF. CONTRACTOR SHALL VERIFY & NOTIFY THE OWNER IMMEDIANTELY OF ANY WEAK OR SUBSTANDARD SOILS.
- 15. LOCATE SLAB JOINTS AT 12'-0" MAX. SLAB JOINTS SHALL BE LOCATED TO MAINTAIN A MAXIMUM PANEL ASPECT RATIO OF 1.5 TO 1.0.
- 16. CONCRETE HEADERS WILL BE NO LESS THAN 8" X 8" W/(4)#5 REBARS OR AS PER STRUCTURAL ENGINEERING DRAWINGS.



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AVE 30120 108 McCanles Cartersville, G

FOUNDATION PLAN

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STATUS: SD

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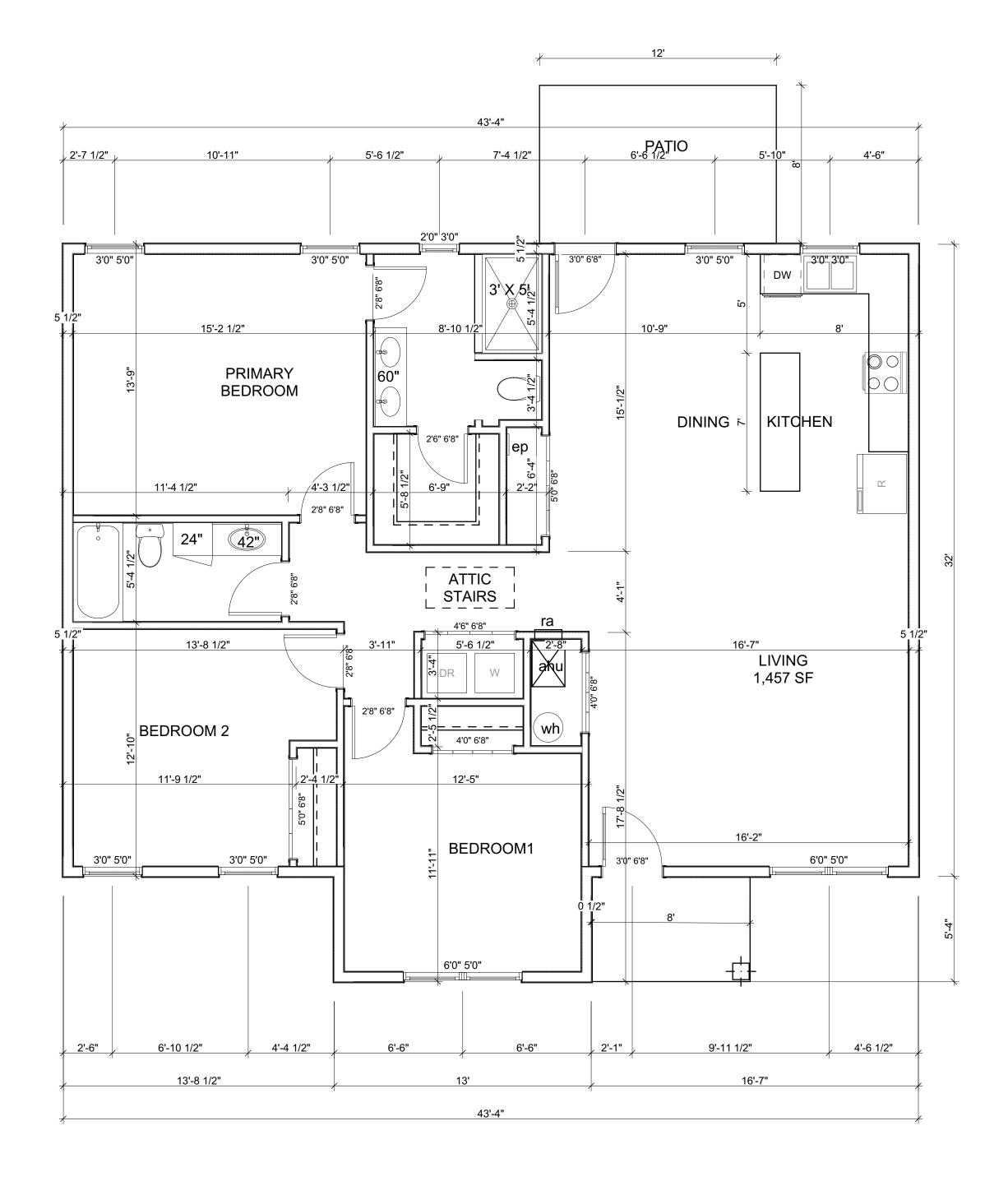
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LEGEND
EP ELECTRIC PANEL
WH WATER HEATER
AHUAIR HANDLING UNIT
DW DISHWASHER
MW MICROWAVE
CONT CONTINUOUS
SQ SQUARE
VIF VERIFY IN FIELD

PLUMBING NOTES:

- 1. PROVIDE WATER HOOKUP FOR REFRIGERATOR ICE MAKER.
- 2. PROVIDE KITCHEN SINK WITH 1 HP DISPOSAL.
- 3. PROVIDE RECESSED HOT & COLD WATER HOOKUP AT WASHING MACHINE. PROVIDE FLOOR DRAIN
- UNDER WASHING MACHINE.

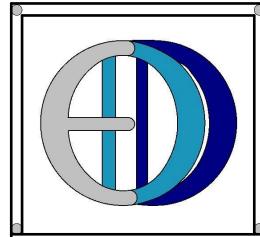
 4 VENT DRYER TO EXTERIOR PROVIDE WEATHERHOOD W/DAMPE
- 4. VENT DRYER TO EXTERIOR. PROVIDE WEATHERHOOD W/DAMPER. LINE SHALL BE 4" SMOOTH GALV. METAL EXHAUST DUCT.
- 5. PROVIDE ALL NECESSARY LINES & SHUT OFF VALVES TO ALL GAS APPLIANCES.





GENERAL FRAMING NOTES:

- 1. ROOF DECKING SHALL BE 5/8" CDX PLYWOOD OR 25YR OSB WITH "H" CLIPS.
- 2. ALL HEADERS ON A TWO STORY BUILDING SHALL BE (2) 2 x 12's. INSTALL FOAM BOARD INSULATION IN GAP.
- 3. 1×4 LET BRACING, 7/16" APA RATED OSB SHEATHING OR 1/2" PLYWOOD SHEATHING AT ALL CORNERS. ALL PANEL EDGES MUST BE BLOCKED WITH 2" OR WIDER FRAMING.
- 4. LOCATE ALL PLUMBING DROPS BEFORE FRAMING BEGINS. SHIFT JOISTS TO ALLOW DROP.
- 5. ALL TRUSSES SHALL HAVE PROPER FASTENINGS TO TOP PLATE AS PER CODE.
- 6. THE ASSEMBLY MUST BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE WITH IBC TABLES 2304.10.1 AND 2308.7.5.
- 7. CONNECTIONS MUST COMPLY WITH IBC TABLES 2308.7.3.1 AND 2304.10.1 OR EQUIVALENT CAPACITIES. USE SIMPSON CSHP 18 COILS WHERE POSSIBLE.
- 8. ALL EXTERIOR WALLS SHALL BE 2 \times 6's W/7/16" OSB ZIP SYSTEM OR HOUSE WRAP W/TAPED EDGES.
- 9. ALL EXTERIOR WOOD MUST BE PRESSURE TREATED. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE MUST BE PRESSURE TREATED.
- 10. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO E DUNAY DESIGN, LLC FOR CLARIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. E DUNAY DESIGN ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.



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HOUSE PLANS FOR ICHAM HOLDINGS

108 McCanless ave Cartersville, ga 30120

FLOOR PLAN

PROJECT # 2244 DATE:6/7/2023

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MITCHAM HOLDINGS

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ELEVATIONS

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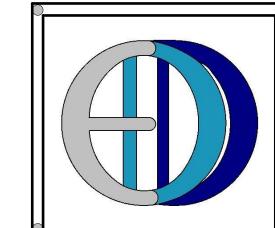
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108 McCanles Cartersville, G

FRAMING PLAN

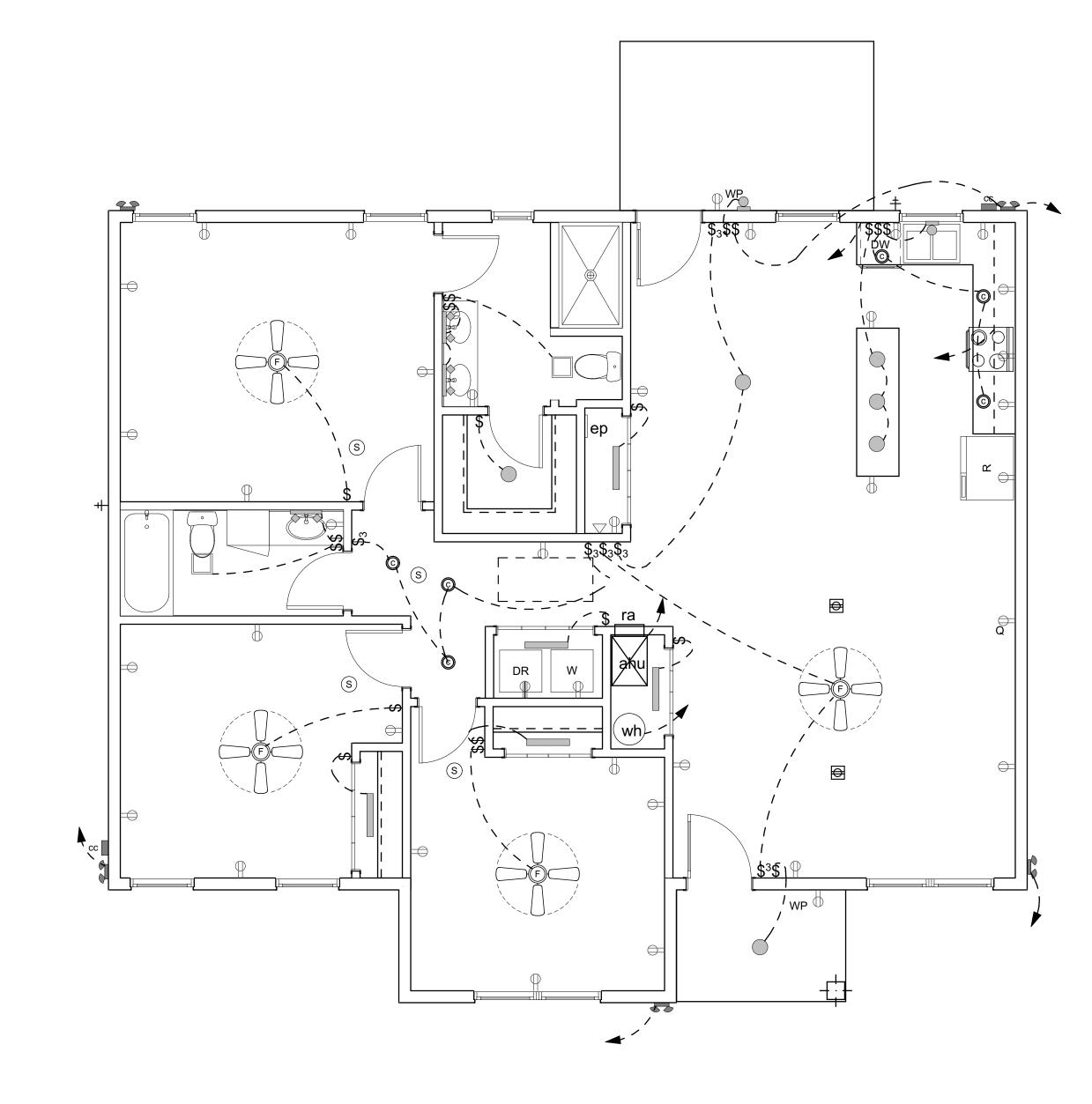
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- 1.PROVIDE 2 X 4 DIAGONAL BRACING NAILED TO THE UNDERSIDE OF TOP CHORD & ALL OTHER REQUIRED AND NECESSARY BRACING.
- 2. PROVIDE CONTINUOUS 2 X 4 LATERAL BRACING BETWEEN TRUSSES.
- 3. DIAGONAL 2 X4 BRACING TO BE INSTALLED IN THE PLANE OF THE WEBS TRUSSES.
- 4. TRUSSES TO BE INSTALLED ACCORDING TO BCSI 1-03 AND DSB-89 BY TPI.
 5. CONNECT TRUSSES TO WALLS WITH CODE APPROVED CONNECTORS. SIMPSON H2.5A OR EQUAL AT EACH END.
- 6. TRUSSES SHALL BE DESIGNED BY A GEORGIA LICENSED ENGINEER. THE DRAWINGS & CALCULATIONS SHALL BE STAMPED BY ENGINEER.
 7. TRUSS LAYOUT IS CONCEPTUAL. FINAL LAYOUT SHALL BE PROVIDED BY TRUSS MANUFACTURER.



UTILITY LEGEND

CEILING MOUNT LIGHT FIXTURE

EXHAUST FAN WITH LIGHT KIT

2 LIGHT WALL VANITY

⇒ 110 OUTLET

GROUND FAULT INTERUPT OUTLET

QUAD OUTLET

⇒ WP WATER PROOF GFI OUTLET

S SMOKE DETECTOR WITH CARBON MONOXIDE DETECTOR

FLOOD LIGHT

WALL LIGHT

CAN LIGHT

LED UTILITY LIGHT

FLOOR OUTLET

DATA

HOSE BIBB

ELECTRIC CAR CHARGER

CEILING FAN WITH LIGHT KIT



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LEW HOUSE PLANS I MITCHAM HOLDING 108 McCANLESS AVE CARTERSVILLE, GA 30120

ELECTRICAL PLAN

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