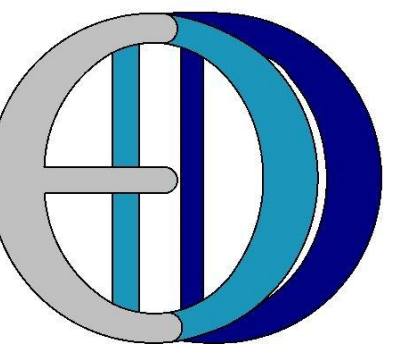


NEW HOUSE PLANS FOR MITCHAM HOLDINGS



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② FRONT 3D
SCALE: 1/4" = 1'-0"



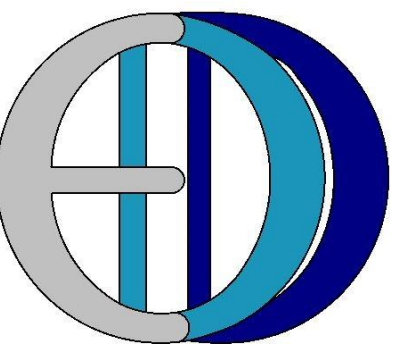
NEW HOUSE PLANS FOR
MITCHAM HOLDINGS
108 MCCANLESS AVE
CARTERSVILLE, GA 30120

COVER SHEET

PROJECT # 2244
DATE: 6/7/2023
STATUS: SD

REVISIONS
6/27/2023

T1



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**NEW HOUSE PLANS FOR
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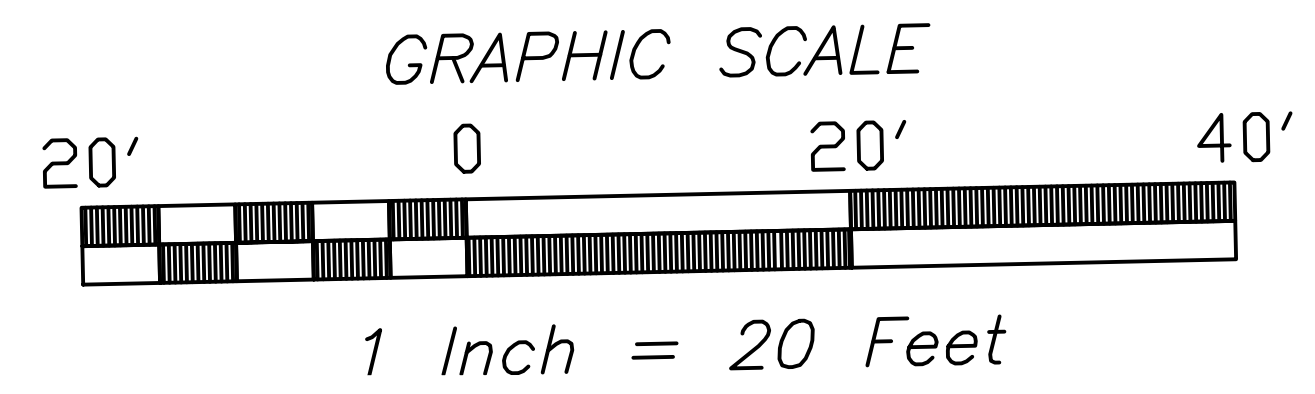
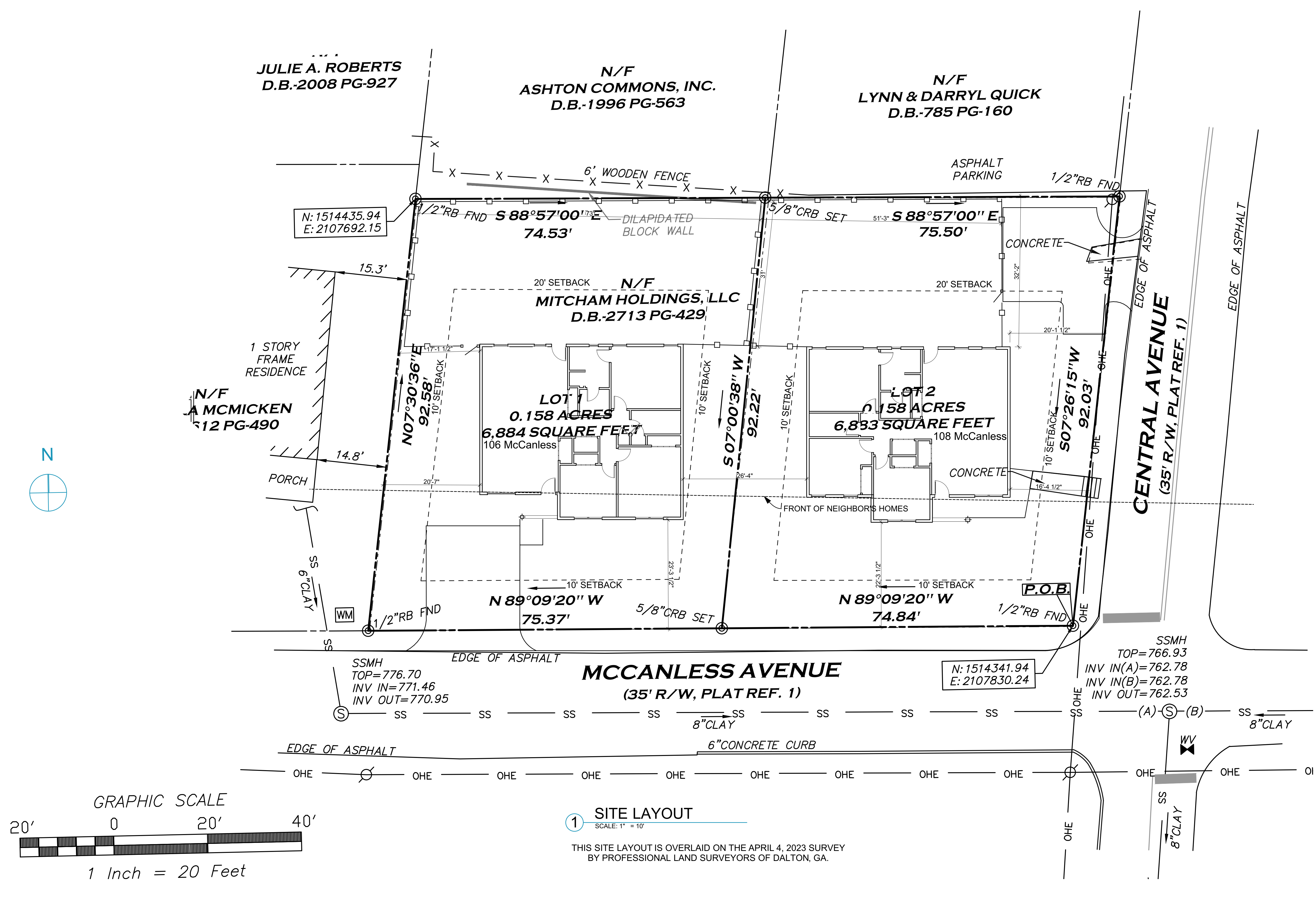
SITE LAYOUT

PROJECT # 2244
 DATE: 6/7/2023

STATUS: SD

REVISIONS
 6/27/2023

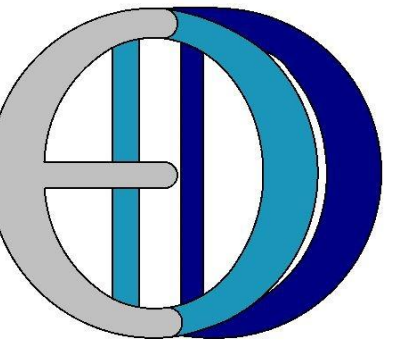
A.1.0



1 SITE LAYOUT
 SCALE: 1" = 10'

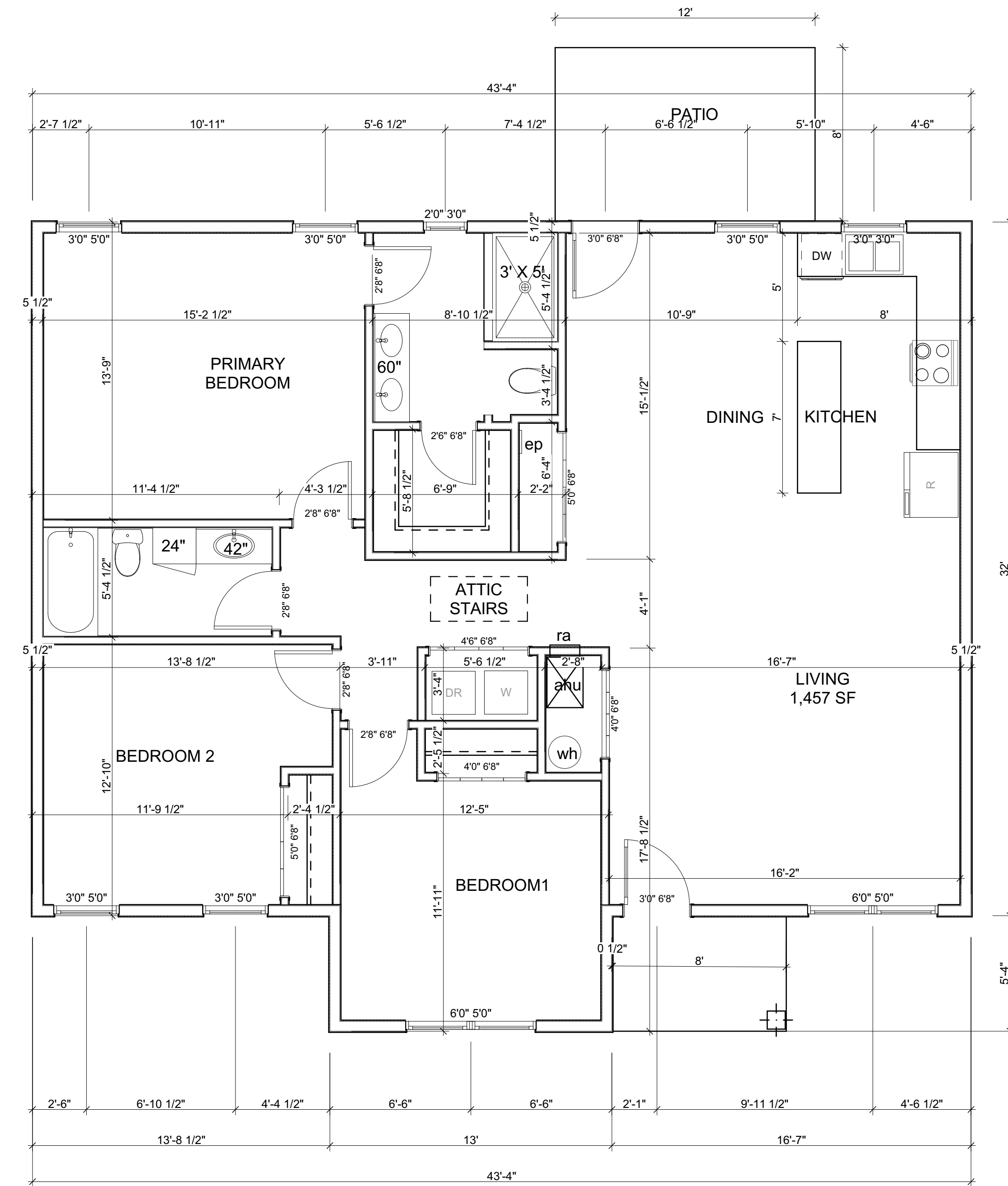
THIS SITE LAYOUT IS OVERLAID ON THE APRIL 4, 2023 SURVEY
 BY PROFESSIONAL LAND SURVEYORS OF DALTON, GA.

C:\Users\bduma\Documents\jobs\McCanless\108 McCanless plan.pln



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NEW HOUSE PLANS FOR
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A FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- LEGEND**
- EP ELECTRIC PANEL
 - WH WATER HEATER
 - AHU AIR HANDLING UNIT
 - DW DISHWASHER
 - MW MICROWAVE
 - CONT CONTINUOUS
 - SQ SQUARE
 - VIF VERIFY IN FIELD

- PLUMBING NOTES:**
1. PROVIDE WATER HOOKUP FOR REFRIGERATOR ICE MAKER.
 2. PROVIDE KITCHEN SINK WITH 1 HP DISPOSAL.
 3. PROVIDE RECESSED HOT & COLD WATER HOOKUP AT WASHING MACHINE. PROVIDE FLOOR DRAIN UNDER WASHING MACHINE.
 4. VENT DRYER TO EXTERIOR. PROVIDE WEATHERHOOD W/DAMPER. LINE SHALL BE 4" SMOOTH GALV. METAL EXHAUST DUCT.
 5. PROVIDE ALL NECESSARY LINES & SHUT OFF VALVES TO ALL GAS APPLIANCES.

GENERAL FRAMING NOTES:

1. ROOF DECKING SHALL BE 5/8" CDX PLYWOOD OR 25YR OSB WITH "H" CLIPS.
2. ALL HEADERS ON A TWO STORY BUILDING SHALL BE (2) 2 x 12's. INSTALL FOAM BOARD INSULATION IN GAP.
3. 1 x 4 LET BRACING, 7/16" APA RATED OSB SHEATHING OR 1/2" PLYWOOD SHEATHING AT ALL CORNERS. ALL PANEL EDGES MUST BE BLOCKED WITH 2" OR WIDER FRAMING.
4. LOCATE ALL PLUMBING DROPS BEFORE FRAMING BEGINS. SHIFT JOISTS TO ALLOW DROP.
5. ALL TRUSSES SHALL HAVE PROPER FASTENINGS TO TOP PLATE AS PER CODE.
6. THE ASSEMBLY MUST BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE WITH IBC TABLES 2304.10.1 AND 2308.7.5.
7. CONNECTIONS MUST COMPLY WITH IBC TABLES 2308.7.3.1 AND 2304.10.1 OR EQUIVALENT CAPACITIES. USE SIMPSON CSH18 COILS WHERE POSSIBLE.
8. ALL EXTERIOR WALLS SHALL BE 2 x 6's W/7/16" OSB ZIP SYSTEM OR HOUSE WRAP W/TAPED EDGES.
9. ALL EXTERIOR WOOD MUST BE PRESSURE TREATED. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE MUST BE PRESSURE TREATED.
10. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO E DUNAY DESIGN, LLC FOR CLARIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. E DUNAY DESIGN ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

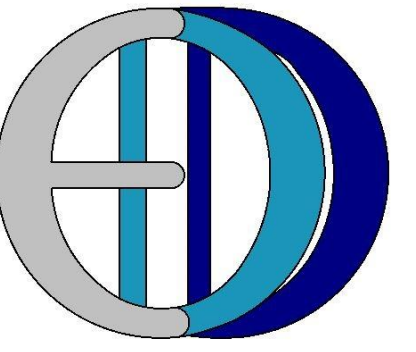
FLOOR PLAN

PROJECT # 2244
 DATE: 6/7/2023

STATUS: SD

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A.2.1



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ELEVATIONS

PROJECT # 2244
DATE: 6/7/2023

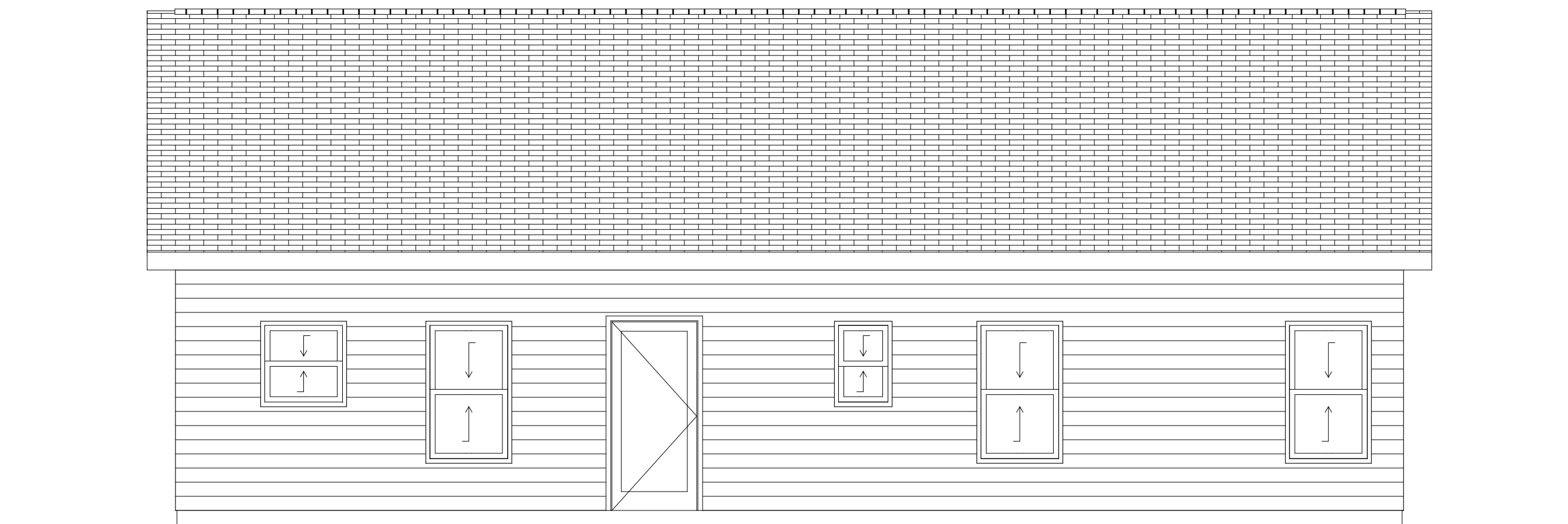
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REVISIONS
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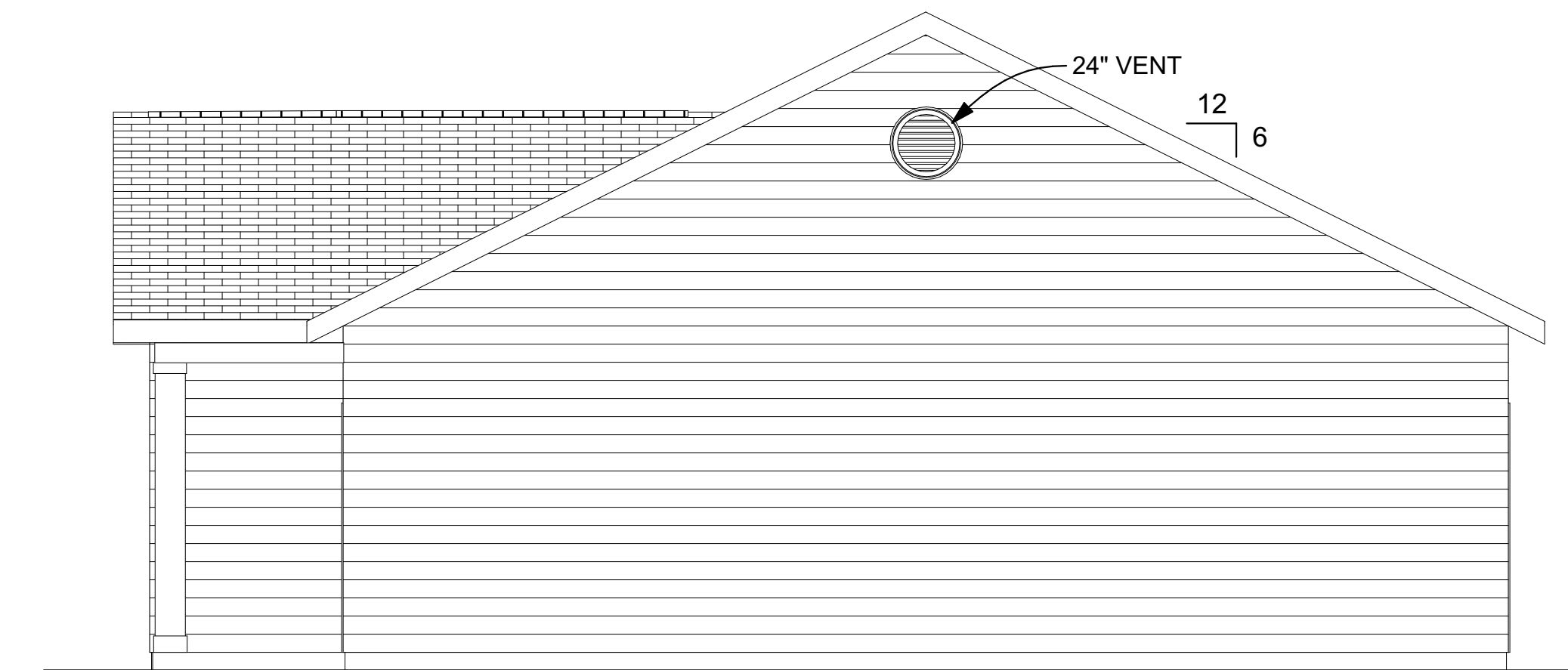
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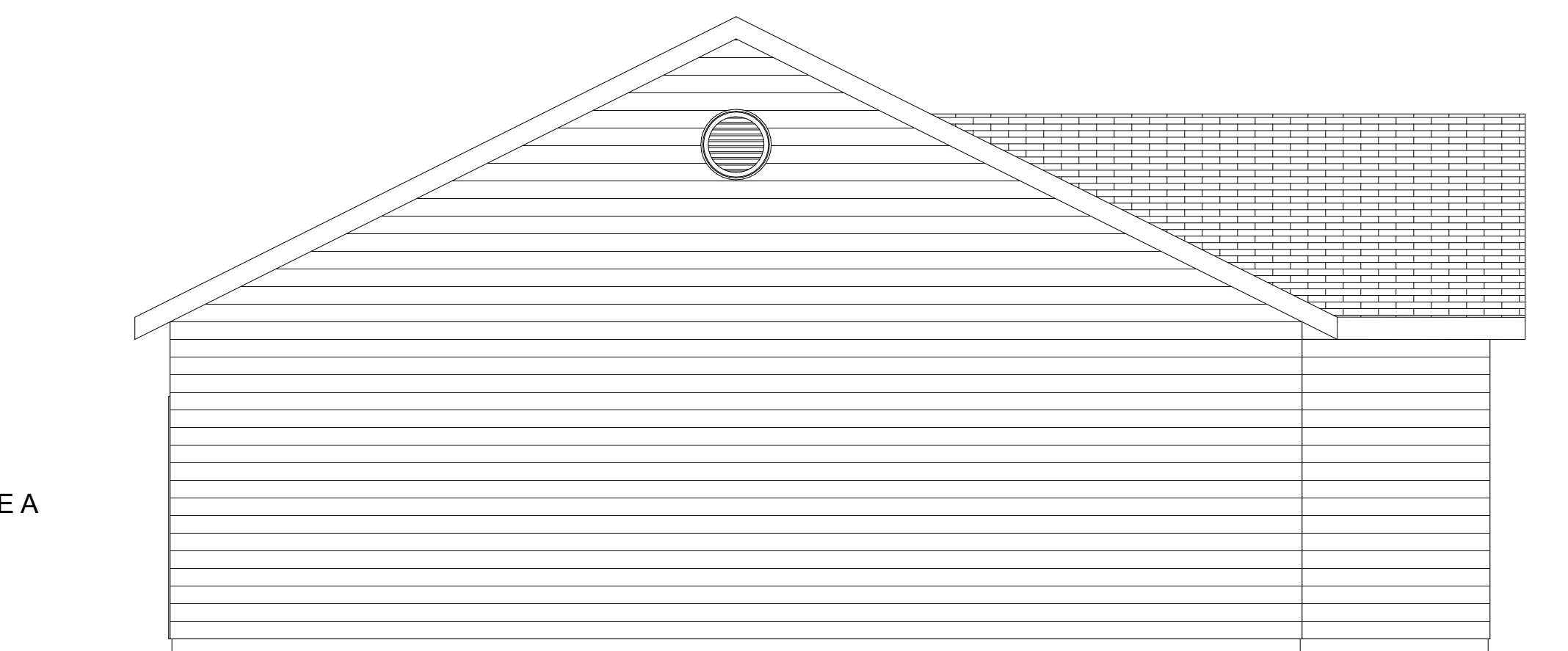
A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



A REAR ELEVATION
SCALE: 1/4" = 1'-0"



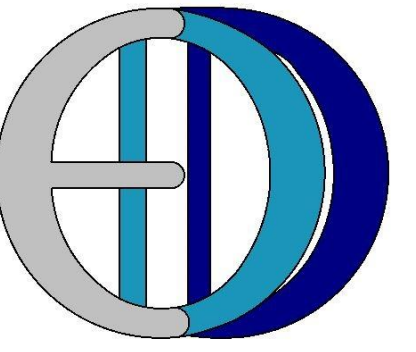
A RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



A LEFT ELEVATION
SCALE: 1/4" = 1'-0"

FIBERCEMENT SIDING NOTES:

1. ALL FIELD CUTS MUST BE PRIMED.
2. INSTALL FLASHING TAB BEHIND ALL JOINTS OR CAULK JOINTS. LIGHT CONTACT ONLY WHERE TWO BOARD ENDS MEET.
3. ALLOW 1/8" GAP WITH FLEXIBLE SEALANT AT END JOINTS.
4. ALLOW 1" GAP AT ROOF/WALL INTERSECTIONS WITH STEP FLASHING.
5. WHERE SIDING MEETS DOOR & WINDOW TRIM OR A CORNER PROVIDE A 1/8" EXPANSION JOINT WITH FLEXIBLE SEALANT MEETING ASTM C920 CLASS 25 STANDARDS.



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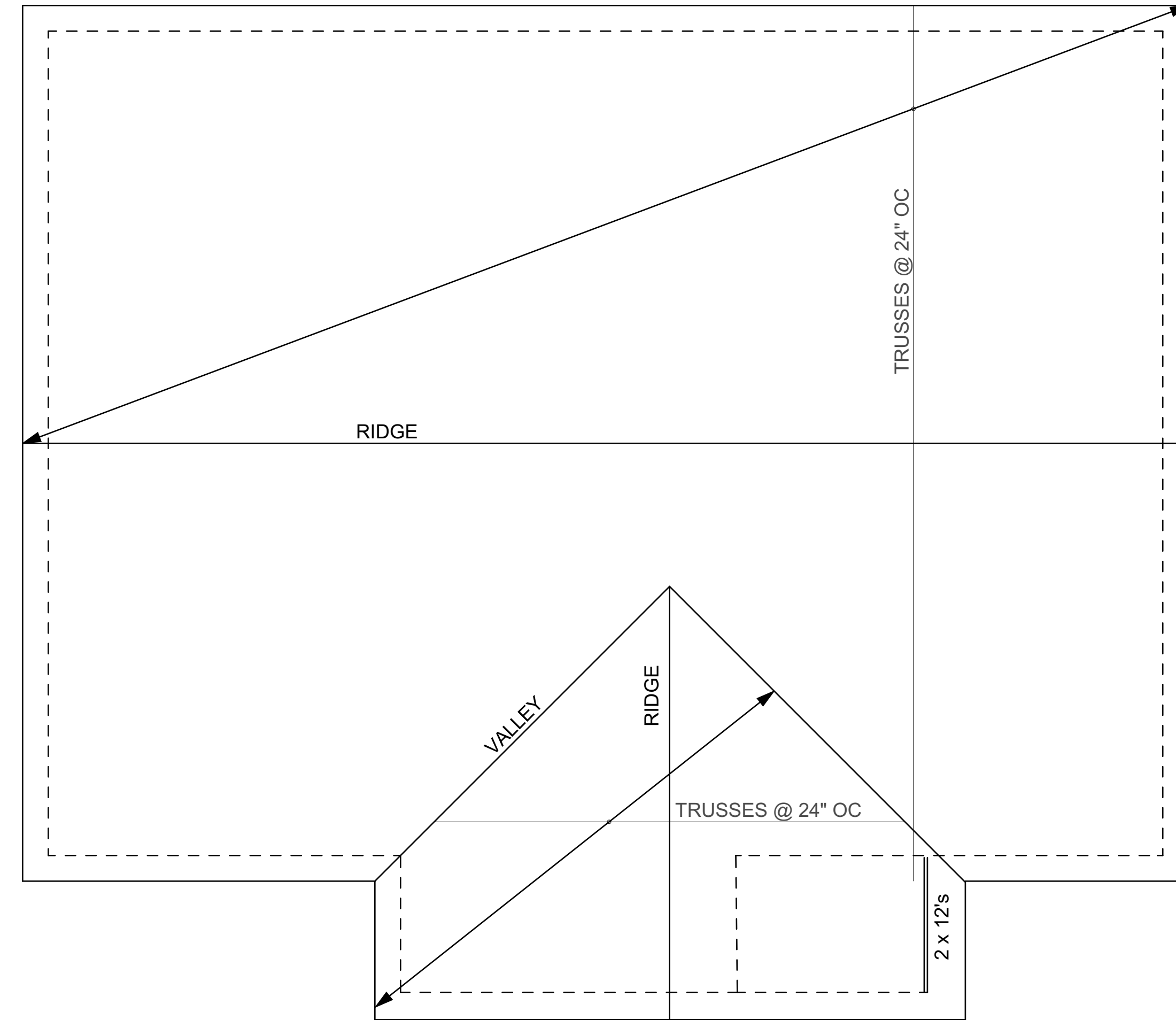
FRAMING PLAN

PROJECT # 2244
DATE: 6/7/2023

STATUS: SD

REVISIONS
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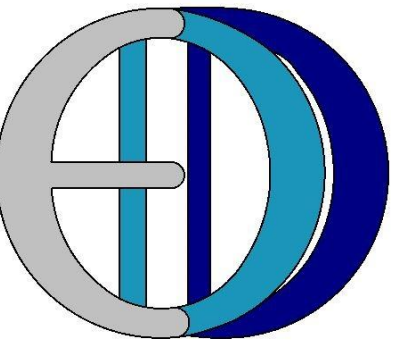
A.4.0



A FRAMING PLAN
SCALE: 1/4" = 1'-0"

WOOD TRUSSES

1. PROVIDE 2 X 4 DIAGONAL BRACING NAILED TO THE UNDERSIDE OF TOP CHORD & ALL OTHER REQUIRED AND NECESSARY BRACING.
2. PROVIDE CONTINUOUS 2 X 4 LATERAL BRACING BETWEEN TRUSSES.
3. DIAGONAL 2 X 4 BRACING TO BE INSTALLED IN THE PLANE OF THE WEBS TRUSSES.
4. TRUSSES TO BE INSTALLED ACCORDING TO BCSI 1-03 AND DSB-89 BY TPI.
5. CONNECT TRUSSES TO WALLS WITH CODE APPROVED CONNECTORS. SIMPSON H2.5A OR EQUAL AT EACH END.
6. TRUSSES SHALL BE DESIGNED BY A GEORGIA LICENSED ENGINEER. THE DRAWINGS & CALCULATIONS SHALL BE STAMPED BY ENGINEER.
7. TRUSS LAYOUT IS CONCEPTUAL. FINAL LAYOUT SHALL BE PROVIDED BY TRUSS MANUFACTURER.



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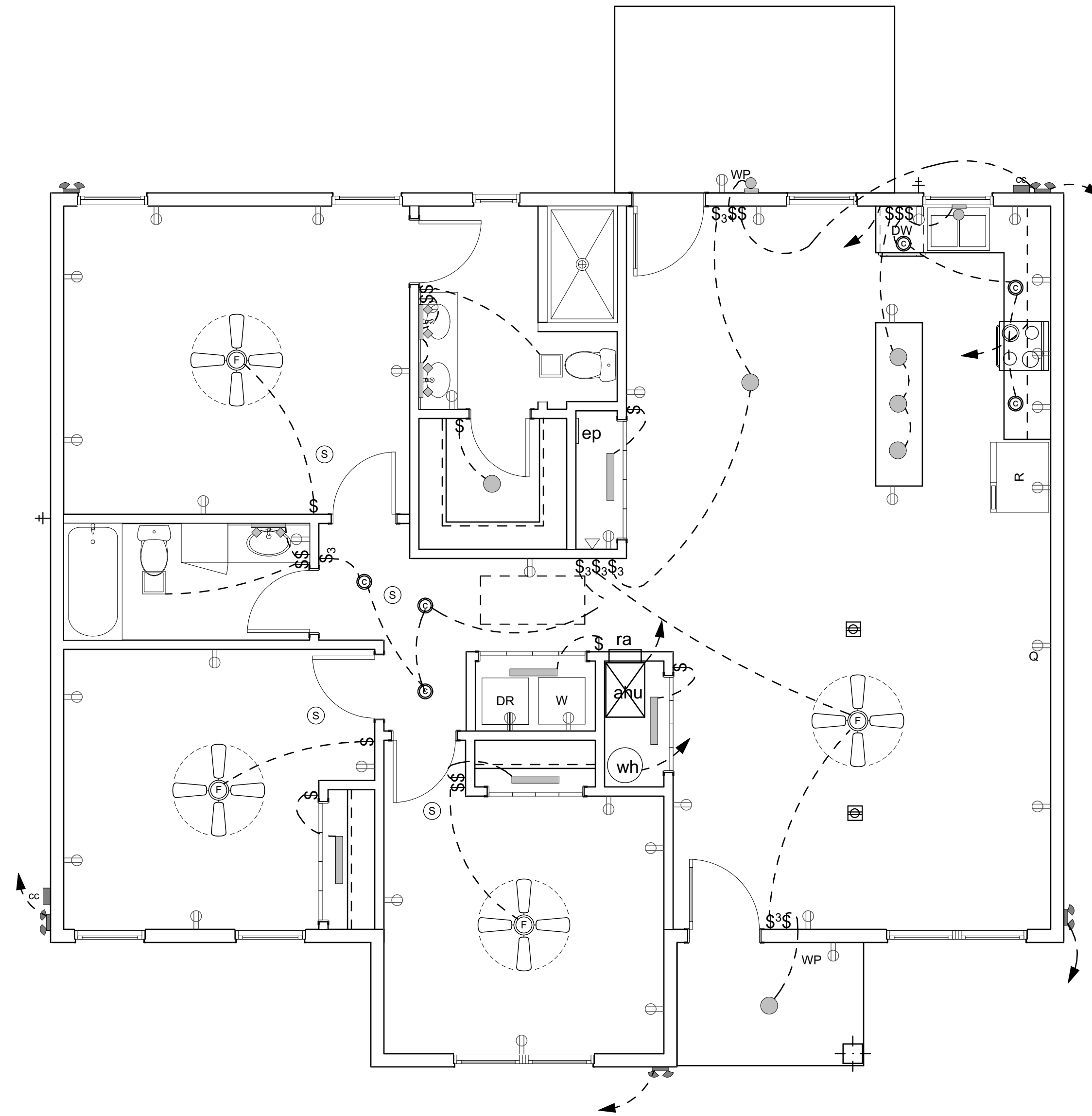
ELECTRICAL PLAN

PROJECT # 2244
 DATE: 6/7/2023

STATUS: SD

REVISIONS
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A.5.0



- UTILITY LEGEND**
- CEILING MOUNT LIGHT FIXTURE
 - EXHAUST FAN WITH LIGHT KIT
 - ⌘ 2 LIGHT WALL VANITY
 - ⊕ 110 OUTLET
 - ⊕ GFI GROUND FAULT INTERRUPT OUTLET
 - ⊕ Q QUAD OUTLET
 - ⊕ WP WATER PROOF GFI OUTLET
 - ⊙ SMOKE DETECTOR WITH CARBON MONOXIDE DETECTOR
 - ⌘ FLOOD LIGHT
 - ⊕ WALL LIGHT
 - ⊙ CAN LIGHT
 - ▬ LED UTILITY LIGHT
 - ⊕ FLOOR OUTLET
 - ▽ DATA
 - + HOSE BIBB
 - ⊕ R ELECTRIC CAR CHARGER
 - ⊕ CEILING FAN WITH LIGHT KIT

A ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"